

**North Carolina Department of Natural and Cultural Resources
State Historic Preservation Office**

Ramona M. Bartos, Administrator

Governor Roy Cooper
Secretary D. Reid Wilson

Office of Archives and History
Deputy Secretary, Darin J. Waters, Ph.D.

May 19, 2022

Caitlin Herrnstadt
Johnson Mirmiran & Thompson, Inc.
1130 Situs Court, Suite 200
Raleigh, NC 27606

chernstadt@jmt.com

RE: Historic Structures Survey Report, Construct Everlee residential development, 3013 Watkins Town Road, Raleigh, Wake County, ER 21- 0994

Dear Ms. Herrnstadt:

Thank you for your March 22, 2022, letter transmitting the above-referenced survey report. We apologize for the delayed reply and appreciate your understanding.

Having reviewed the report, we concur with its findings that the following resources are not eligible for the National Register of Historic Places (NRHP) for the reasons provided in the report:

- M.O. Watkins House (WA1901)
- Willard E. and Joyce Watkins Duke House (WA8800)
- Robert Watkins Farm (WA1699)

While we concur with the report's findings, we would like to encourage the authors to be skeptical of tax record construction dates and use evidence and educated/explained guesses to arrive at construction dates. The investigator states that the 1914 map narrows the field of speculation to before 1914, but the investigator should continue by noting any other information they have gleaned from looking at the house, talking to someone, and reviewing the survey file. How were construction dates of ca. 1900 arrived at for the two Watkins Houses, aside from the tax records and the 1914 map? Oral history, the survey form, and/or looking? Noting the size and scale, roof pitch, windows and doors, foundation materials, any shred of historic fabric can be useful. With houses covered in vinyl siding, that probably did not have much ornamentation to begin with, getting inside the house can be invaluable. Observe carefully, pay attention to details, and analyze the building.

The nearly identical forms of the two Watkins houses suggest that they were built in their current form at one time, but the single stone chimney on each plus their widths also suggest that the houses might have been constructed at an earlier date and started as one-room dwellings that were expanded. The M. O. Watkins House almost certainly had its front door relocated from a center

position as seen at the Robert Watkins House. Both houses retain more foundation materials (piers) than the description suggests. In short, the investigator needs to be more observant and attentive.

It does not appear that the investigator went inside the houses, therefore, the investigator should not ascribe plans to the houses unless the survey records documented the interior, or an informant described the plan. The use of "massed plan" is not common in North Carolina. What is a mass plan? To the reviewer, the Watkins Houses appear to be center-hall houses, one room deep, with rear ells/additions. They may have been built in their current forms or created by adding a center hall and an additional room to a one-room house, or, less likely, they were dog-trot forms. In any case, they now appear to be center-hall plans, but the reviewer, like the investigator, is speculating and cannot know the plan without entering the house.

For comparable examples, it is useful to find a similar resource that is listed on the NRHP. Second to that, a comparable that the investigator believes could be eligible makes a good comparison property. But it is also important to look for comparables that are, indeed, comparable. The Otha Massy House does have a side-gable roof and shed dormer like both Watkins houses, but it was clearly built all at once and with a specific stylistic reference. The Watkins houses, meanwhile, are vernacular houses; homemade versions of the Massy House that may have been created from a smaller, earlier base, so the Massy House is not a good comparable.

The investigator also noted that Jessie Watkins Peebles is described as the oldest person in the cemetery. Perhaps the author means that his death date is the oldest or earliest.

Finally, why are the Watkins houses so named? Is the writer certain these houses were built under M.O. and Robert's ownerships? It appears that the Peebles family owned this land prior to Peebles women marrying Watkins men, therefore should Peebles and the wives' names be in the house name? The writer can always use our office's surveyed name but add something like, "The house should be named.... to reflect the contributions of the wife to the household."

The above comments are made pursuant to Section 106 of the National Historic Preservation Act and the Advisory Council on Historic Preservation's Regulations for Compliance with Section 106 codified at 36 CFR Part 800.

Thank you for your cooperation and consideration. If you have questions concerning the above comment, contact Renee Gledhill-Earley, environmental review coordinator, at 919-814-6579 or environmental.review@ncdcr.gov. In all future communication concerning this project, please cite the above referenced tracking number.

Sincerely,



for Ramona Bartos, Deputy
State Historic Preservation Officer



March 2022

HISTORIC STRUCTURES SURVEY REPORT

EVERLEE RESIDENTIAL DEVELOPMENT, WATKINS TOWN ROAD (SR 2222) IN WAKE FOREST, WAKE COUNTY, NORTH CAROLINA (ER 21-0994)

Prepared for:

Lennar Corporation – Raleigh Division
1100 Perimeter Park Drive, Suite 112
Morrisville, NC 27560

Prepared by:

JMT
1130 Situs Court
Suite 200
Raleigh, North Carolina 27606

Caitlin Herrnstadt
Senior Architectural Historian
and
Carolyn Gimbal
Architectural Historian



March 2022

HISTORIC STRUCTURES SURVEY REPORT

EVERLEE RESIDENTIAL DEVELOPMENT, WATKINS TOWN ROAD (SR 2222) IN WAKE FOREST, WAKE COUNTY, NORTH CAROLINA (ER 21-0994)

Prepared for:

Lennar Corporation – Raleigh Division
1100 Perimeter Park Drive, Suite 112
Morrisville, NC 27560

Prepared by:

JMT
1130 Situs Court
Suite 200
Raleigh, North Carolina 27606

Caitlin Herrnstadt
Senior Architectural Historian

and

Carolyn Gimbal
Architectural Historian

Caitlin Herrnstadt, Senior Architectural Historian
JMT

Date

MANAGEMENT SUMMARY

Johnson, Mirmiran & Thompson (JMT) conducted a historic structures survey in February 2022 on behalf of the Lennar Corporation – Raleigh Division in preparation for the expansion of a residential development on Watkins Town Road (SR 2222) in Raleigh, Wake County, North Carolina. The Environmental Review Number is ER 21-0994. JMT Architectural Historians conducted a survey of the project’s area of potential effects (APE)—defined as the project footprint plus any areas where an alteration to a historic resource’s setting and feeling could occur.

The scope of JMT’s investigation included an intensive-level evaluation of three properties (Table 1) to determine National Register of Historic Places (NRHP) eligibility, two of which were previously recorded with the North Carolina Historic Preservation Office (NCHPO), the M.O. Watkins Farm (WA1901) and the Robert Watkins Farm (WA1699). None of the resources had been evaluated for eligibility for the NRHP. The goals of this investigation were to: assess the National Register eligibility of the resources and provide a written report that presents photographs of the component buildings, structures, and landscapes; architectural and historical contexts; evaluation of National Register eligibility including comparison to similar properties in the region; and, if recommended eligible for listing, carefully delineated and justified National Register boundaries.

This project is subject to review under Section 106 of the National Historic Preservation Act of 1966. A Secretary of the Interior qualified Architectural Historian defined an Area of Potential Effects (APE) and conducted a site visit to identify and assess all resources of approximately 50 years of age or more within the APE. Three resources warranted an intensive National Register eligibility evaluation, and they are the subject of this report. These properties included the M.O. Watkins Farm (WA1601) at 3031 Watkins Town Road, 3033 Watkins Town Road, and 3029 Watkins Town Road; Willard E. and Joyce Watkins Duke House (WA8800) at 2933 Watkins Town Rd; and the Robert Watkins Farm (WA1699) at 2932 Watkins Town Rd. JMT Architectural Historians determined that all other properties and districts within the APE are not worthy of further study and evaluation due to lack of historical significance and/or integrity. Research and fieldwork for this project were conducted in accordance with relevant state and federal regulations as part of the compliance process established in Section 106 of the National Historic Preservation Act of 1966, as amended (36 CFR 800), other state and federal regulations, and the NCHPO “Report Standards for Historic Structure Survey Reports/Determinations of Eligibility/Section 106/110 Compliance Reports in North Carolina.”

As a result of this investigation, all three resources are recommended not eligible for the NRHP.

Table 1: Eligibility Recommendations

Property Name	NC HPO Survey Site Number	NRHP Eligibility Recommendation	NRHP Criteria
M.O. Watkins Farm	WA1901	Not Eligible	N/A
Willard E. and Joyce Watkins Duke House	WA8800	Not Eligible	N/A
Robert Watkins Farm	WA1699	Not Eligible	N/A

TABLE OF CONTENTS

Management Summary	i
Figures	iv
Project Description and Methodology.....	1
Project Location Maps	2
Historic Background / Context.....	4
Agriculture in Wake County	4
Wake Crossroads	5
Architectural Context	6
Property Evaluations	8
WA1901: M.O. Watkins Farm.....	8
WA8800: Willard E. and Joyce Watkins Duke House.....	35
WA1699: Robert Watkins Farm	46
References	67

FIGURES

Figure 1: Aerial map of the project area and resources, Raleigh, Wake County, NC	2
Figure 2: Street map of the project area and resources, Raleigh, Wake County, NC	3
Figure 3: Rogers Crossroads Area, 1914. Watkins Town Road is boxed in red.....	5
Figure 4 M.O. Watkins Farm Entire Site Plan	9
Figure 5: Division of L.L. Watkins Heirs Property.....	30
Figure 6 Willard E & Joyce Watkins Duke House Site Plan.....	36
Figure 7: Historic Aerials of the Willard E and Joyce Watkins Duke House	41
Figure 8 Robert Watkins Farm Site Plan	47
Figure 9: 1914 Soils Map showing dwellings in general vicinity of Robert Watkins Farm.	63

PROJECT DESCRIPTION AND METHODOLOGY

JMT conducted a historic structures survey in February 2022 on behalf of Lennar Corporation – Raleigh Division in preparation for the expansion of a residential development on Watkins Town Road (SR 2222) in Wake Forest, Wake County, North Carolina. The NCHPO Environmental Review number is ER 21-0994. JMT Architectural Historians conducted a site visit and determined that three properties warranted evaluation for NRHP eligibility. These properties included M.O. Watkins Farm (WA1601) at 3031 Watkins Town Road, 3033 Watkins Town Rd, and 3029 Watkins Town Rd; the Willard E. and Joyce Watkins Duke Home (WA8800) at 2933 Watkins Town Rd; and the Robert Watkins Farm (WA1699) at 2932 Watkins Town Rd.

The scope of JMT's investigation included an intensive-level evaluation of the three properties (Table 1) to determine NRHP eligibility. Of these three resources, two were previously recorded with the NCHPO: the M.O. Watkins Farm (WA1901) and the Robert Watkins Farm (WA1699); however, no determination of eligibility had been made. The goals of this investigation were to: assess the National Register eligibility of the resources and provide a written report that presents photographs of the component buildings, structures, and landscapes; architectural and historical contexts; evaluation of National Register eligibility including comparison to similar properties in the region; and, if recommended eligible for listing, carefully delineated and justified National Register boundaries. Research and fieldwork on this project was conducted in accordance with relevant state and federal regulations as part of the compliance process established in Section 106 of the National Historic Preservation Act of 1966, as amended (36 CFR 800), other state and federal regulations, and the NCHPO "Report Standards for Historic Structure Survey Reports/ Determinations of Eligibility/Section 106/110 Compliance Reports in North Carolina."

Fieldwork was completed on February 3, 2022. Building interior access was not granted due to the ongoing impacts of COVID-19.

Background research was conducted at the Olivia Raney Local History Library (specifically the Elizabeth Reid Murray Collection) on March 8, 2022. Digital background research resources included the Wake County iMaps Property GIS, the digitized Wake County Consolidated Real Property Index, Ancestry.com, and FindAGrave.com. HPOWEB GIS service was consulted and revealed no additional historic resources within the project area. JMT also reviewed National Register of Historic Places Registration Forms for other nearby properties similar to the subject properties to provide further context.

Project Location Maps

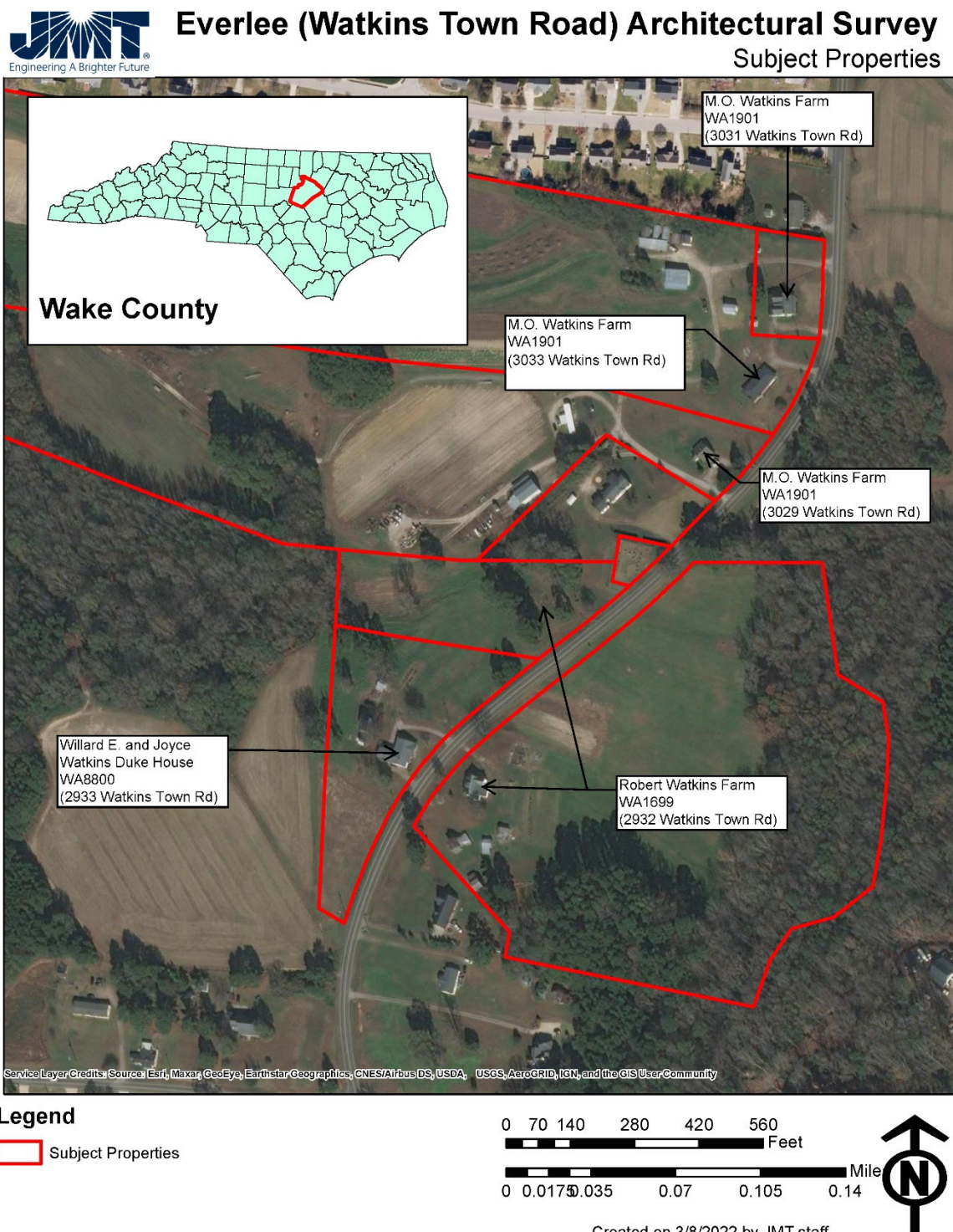
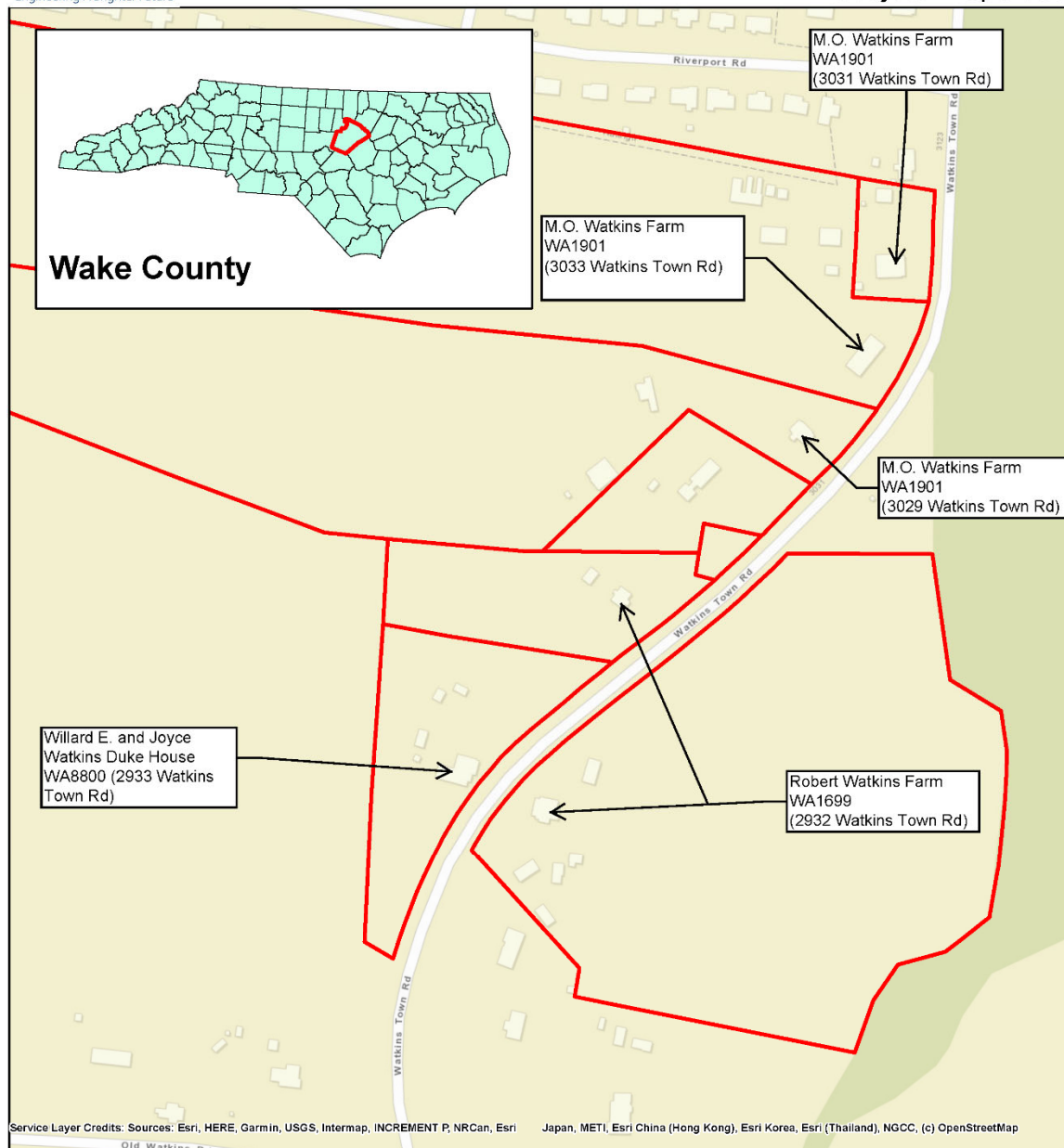


Figure 1: Aerial map of the project area and resources, Raleigh, Wake County, NC

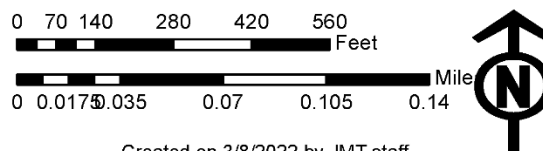


Everlee (Watkins Town Road) Architectural Survey Subject Properties



Legend

 Subject Properties



Created on 3/8/2022 by JMT staff

Figure 2: Street map of the project area and resources, Raleigh, Wake County, NC

HISTORIC BACKGROUND / CONTEXT

Agriculture in Wake County

Wake County is situated on the eastern edge of the North Carolina Piedmont region. It was established in 1771, its name derived from Margaret Wake, wife of North Carolina Governor William Tryon.¹ The state capital was relocated to Raleigh in central Wake County in 1792.²

Wake County remained predominantly agricultural from its establishment through the early twentieth century despite being the center of state-level political affairs. The soil condition and mild seasons make for a long, abundant growing season. Three major railroads – the Southern, Norfolk Southern, and Seaboard Railroads – had paths throughout Wake County and were easily accessible from urban Raleigh in the center of Wake County and the outlying rural developments at the edges in equal measure.³ Access to rail to transport agricultural goods to market increased the agricultural favorability of Wake County.

Cotton and tobacco were the dominant cash crops of the region, so much so that their production readily overtook produce and animal product production.⁴ In 1910, seven-tenths of the total crop yield of Wake County was of cotton and tobacco.⁵ Most cotton and tobacco was cultivated via sharecropping, where a landowner permits tenants to live on and cultivate their land in exchange for a share of their crop. In 1910, over half of farmlands in Wake County were cultivated by tenants in a sharecropping arrangement with a landowner.⁶

Wake County in the late twentieth century to the present has undergone a shift from a predominantly rural and agricultural based economy to increased suburbanization as a result of the development of the Research Triangle Park in northwestern Wake County along the border with Durham County.⁷ Wake County is often described in concert with Durham and Orange Counties as the primary cities of each – Raleigh, Durham, and Chapel Hill, respectively – are the core cities of an area known as the Research Triangle since the late 20th century. The Research Triangle Park was conceived as a method to tap into the educated talent from the universities in the area and has spurred a period of unprecedented population growth throughout the Triangle.⁸

¹ Bisher, Catherine W & Michael T Southern, *A Guide to the Historic Architecture of Piedmont North Carolina*, Chapel Hill, N.C. : University of North Carolina Press, 2003, 103.

² Rohe, William M., *The Research Triangle: From Tobacco Road to Global Prominence*, Philadelphia, P.A.: University of Pennsylvania Press, 2011, 24.

³ Harrison Jr, T.P “Farm Conditions, Farm Practices, and the Local Market Problem” in *Wake County: Economic and Social*, Raleigh, N.C. : Edwards & Broughton Printing Co., 1918, 28.

⁴ Ibid.

⁵ Ibid, 30.

⁶ Ibid, 33.

⁷ Rohe, 7.

⁸ Ibid, 1.

Wake Crossroads

Wake Crossroads is a rural unincorporated community in Wake Forest Township at the junction of Louisburg Road and Forestville Road. Wake Crossroads was once called Rogers Crossroads, as can be seen on the 1914 US Bureau of Soils map of Wake County.⁹ The area was named for Michael Rogers, one of the earliest residents in the late eighteenth century.¹⁰ Rogers operated a ferry crossing on the Neuse River. Wake Crossroads was populated enough to support the Wake Crossroads Baptist Church, established 1789, and a small tavern through the nineteenth century.¹¹ Although suburban development is beginning to proliferate through the area, it is one of the last regions of the county where Wake's agricultural past can be witnessed through the built environment.

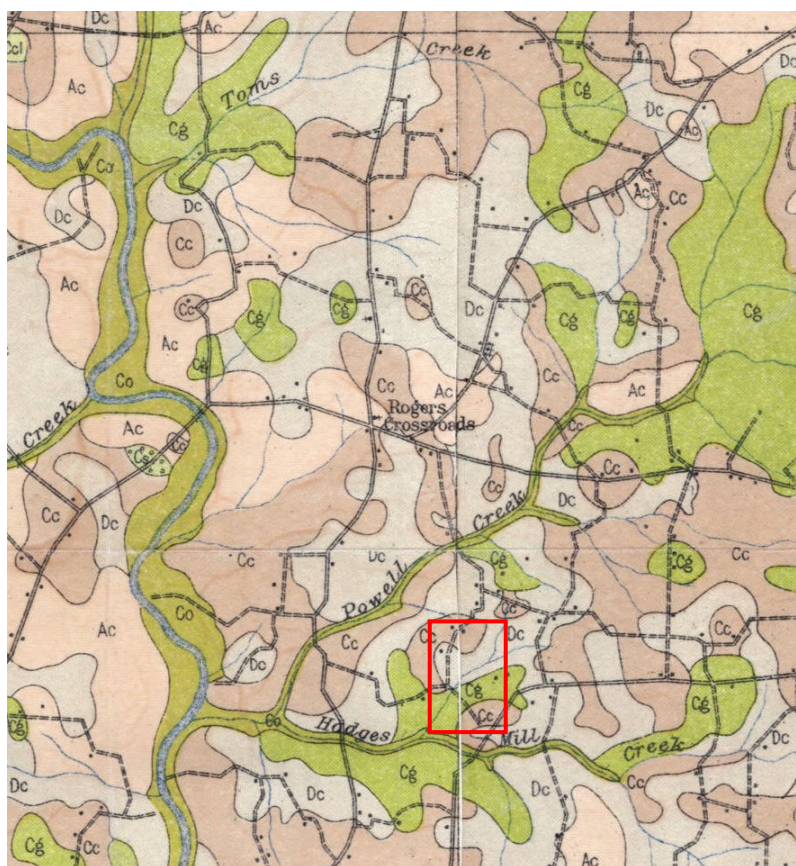


Figure 3: Rogers Crossroads Area, 1914. Watkins Town Road is boxed in red.

⁹ United States Bureau of Soils. Soil Map, North Carolina, Wake County Sheet. 1914. Electronic resource, <https://dc.lib.unc.edu/cdm/ref/collection/ncmaps/id/301>, accessed March 2022.

¹⁰ Johnson, K Todd and Elizabeth Reid Murray, *Wake, Capital County of North Carolina: Volume II, Reconstruction to 1920*, Raleigh, N.C.: Capital County Pub. Co., 2008.

¹¹ Lally, Kelly A, "The Historic Architecture of Wake County," Raleigh, N.C.: Wake County Government, 1994.

Architectural Context

Farmsteads or farm complexes consist of multiple structures and buildings. Some of these buildings remain consistent from farm to farm, but some vary depending on the size and type of farm. Typically, a dwelling or farmhouse forms the center of the complex. This dwelling might be called the “main house” if the farm features other dwellings, like tenant houses or houses for other family members. Farm complexes also feature dependencies including domestic outbuildings and agricultural buildings.¹²

During the late 19th and early 20th centuries, farms in Wake County transitioned from large plantations focused mainly on growing cotton, to small farms that relied more and more on growing tobacco. According to the *National Register Multiple Property Nomination for Historic and Architectural Resources of Wake County (ca. 1770-1941)*,

With large tracts of land continually being subdivided and sold, Wake County's large and medium-sized farms grew increasingly smaller. From 1880 to 1920, the proportion of farms containing over 100 acres (owned and rented) dropped from over one-third to fewer than one-fifth. The number of farms over 500 acres in size fell from 114 to 27 during the same four decades, with plummeting cotton prices and a general agricultural depression in the 1890s bringing the most rapid decline in large farms. The spread of tobacco-growing was no doubt one reason for the rise of smaller farms, since tobacco was more labor intensive, requiring less acreage than cotton.¹³

During this time, Wake County had a class of prosperous, self-sufficient farmers who gained their level of success by balancing cotton and tobacco farming with food crops. These farmers relied on farmhands and one or more tenant family to help run their operations.¹⁴ This meant that many farms featured a main house, outbuildings, and one or more tenant houses. According to the *National Register Multiple Property Nomination for Historic and Architectural Resources of Wake County (ca. 1770-1941)*,

The modest-sized farms of this period apparently did not differ much from their earlier counterparts, although the situation depended on the crops grown. The main dwelling may have changed to reflect the style of the time, but domestic compounds were much the same as those dating from before the Civil War. Kitchens, smokehouses, dairies, wash houses, wells, privies, and storage buildings were still needed, as were basic agricultural buildings, such as corncribs and storage and animal barns. The most noticeable change was that as time passed these buildings were more often of frame, rather than log, construction.¹⁵

¹² Lally, Kelly A. *National Register Multiple Property Nomination for Historic and Architectural Resources of Wake County (ca. 1770-1941)*, F-107.

¹³ Ibid, E-51.

¹⁴ Ibid, E-53.

¹⁵ Ibid, F-112.

Most of the farm dwellings from this time are traditional in plan and simple in style displaying elements of Greek Revival, Victorian, early Colonial Revival, and even Craftsman style. One and two-story “triple-A”-roofed houses are the most frequently seen dwellings on Wake County farms, although side-gable, pyramidal, T -shaped, L-shaped, and gable-front roofs were also often used.¹⁶

¹⁶ Ibid, F-113.

PROPERTY EVALUATIONS

WA1901: M.O. Watkins Farm

Resource Name	M.O. Watkins Farm
HPO Survey Site #	WA1901
Street Address	3101 Watkins Town Rd 3033 Watkins Town Rd 3029 Watkins Town Rd
PIN	1747818131 1747711222 1747701824
Construction Date(s)	1901 1961 1901
NRHP Recommendation	Not Eligible



Photograph 1: Overview of 3031 and 3033 Watkins Town Road, looking southwest.

Property Description

The M.O. Watkins Farm is an early 20th century farmstead located on the west side of SR 2222 (Watkins Town Rd), 0.2 miles south of SR 2227 (Watkins Rd). The existing HPO Survey Site form documented the M.O. Watkins Farm as consisting of three separate parcels: 3101 Watkins Town Road (PIN 1747818131), 3033 Watkins Town Road (PIN 1747711222), and 3029 Watkins Town Road (PIN 1747701824). The 3101 Watkins Town Road parcel includes one early 20th century massed plan farmhouse and one non-historic shed. The 3033 Watkins Town Road parcel includes one 1961 brick ranch house and eight outbuildings dating from the late 20th century - one Quonset hut, one tractor barn, one wood frame shed, one metal carport, one wood frame lean-to, and three metal-frame tobacco curing sheds. The 3029 Watkins Town Road parcel includes one early 20th century hall-and-parlor tenant house, one ca. 1993 single wide trailer, and one ca. 2002 barn.

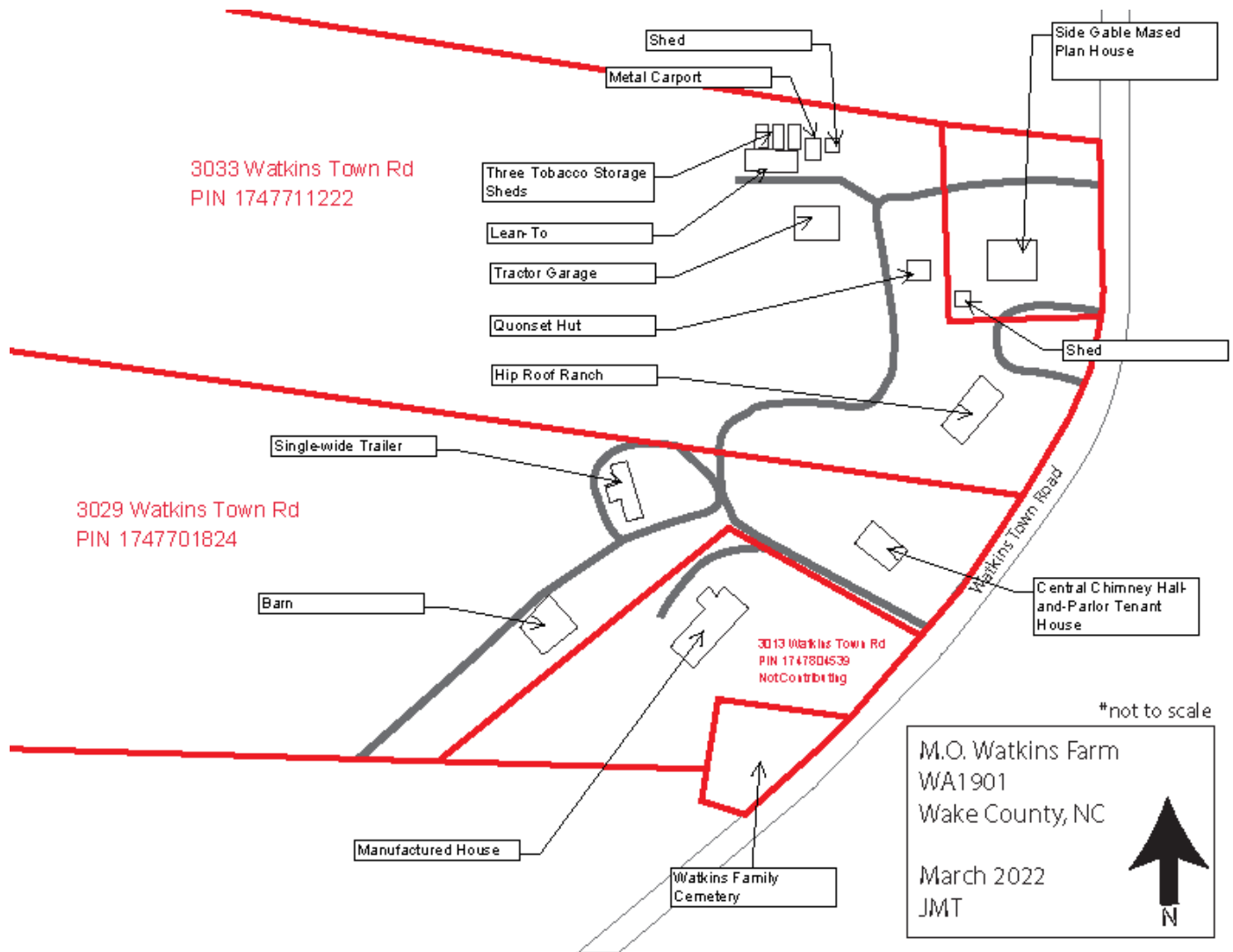


Figure 4 M.O. Watkins Farm Entire Site Plan

3101 Watkins Town Road (PIN 1747818131)

The massed plan, side-gable farmhouse at 3101 Watkins Town Road is the primary residence on the parcel. It is one-and-a-half stories tall and measures three bays wide. According to the Wake County iMaps Property Database, the main dwelling was constructed in 1901. This construction date is supported by a 1914 soil map of Wake County, which shows a dwelling in the vicinity of the main dwelling at the M.O. Watkins Farm.¹⁷ The roof material is gray asphalt shingle. A shed dormer is centered on the primary (east) façade. The dormer's windows have been replaced with vinyl windows with false muntins, flanked by decorative shutters. The shed roof, full-width porch on the façade features a replacement concrete block foundation and concrete slab floor. Although it is a replacement, the porch's form mimics the design of the home's era of construction. The original siding has been replaced with aluminum. The front door has been replaced with a wood door with three thin rectangular fixed windows. The east, north, and south elevations all retain their original wood windows, which are variably six-over-six or four-over-four. The rear (west) elevation has a mid-20th century addition with a flat roof. The addition's windows are vinyl but match the glazing pattern of the wood windows on the house. A one-car carport is attached to the addition and main dwelling on the south side of the west elevation. An exterior stone chimney is located on the south elevation. The foundation of the house has been replaced with a continuous concrete block system though the remnants of the original pier/post brick construction can be seen on the north elevation.



Photograph 2: 3031 Watkins Town Rd, east (main) façade, looking west.

¹⁷ United States Bureau of Soils. Soil Map, North Carolina, Wake County Sheet. 1914. Electronic resource, <https://dc.lib.unc.edu/cdm/ref/collection/ncmaps/id/301>, accessed March 2022.



Photograph 3: 3031 Watkins Town Rd, north elevation, looking south.



Photograph 4: 3031 Watkins Town Rd, west elevation, looking east.



Photograph 5: 3031 Watkins Town Rd, south elevation, looking north.

The nearest outbuilding to the house is a small, wood frame shed located 40 feet southwest of the main house. The shed was documented in its present location on the 1991 site plans within the WA1901 site file housed at the NCHPO but it does not appear to be of historic age. The shed has a single door and a front gabled roof covered in corrugated metal. The exterior is wood weatherboard. There are no windows.



Photograph 6: Front gabled shed at 3031 Watkins Town Rd, looking west-northwest.

3033 Watkins Town Road (PIN 1747711222)

A five bay, hip roofed, brick ranch house is the primary structure at 3033 Watkins Town Rd. It was constructed in 1961 according to the Wake County iMaps Property Database. The low-pitched hip roof is covered in asphalt shingles and features a deep overhang. The exterior of the house is clad in a running bond veneer. Vinyl siding accents portions of the primary (southeast) façade and the northeast elevation near a newer integral one-car garage. The house has two porches. The front door is situated under a front-gable portico with turned wood support posts, brick steps and a concrete floor. A rear door on the northeast-facing façade is sheltered by a recessed porch located beside the garage. The porch features a concrete slab floor and is supported by a turned wood post. All windows on the house are double-hung vinyl with various light configurations. A brick exterior chimney is on the southwest-facing elevation. The foundation is obscured with brick veneer that matches the exterior.



Photograph 7: 3033 Watkins Town Rd, main southeast façade, looking northwest.



Photograph 8: 3033 Watkins Town Rd, northeast elevation, looking southwest.



Photograph 9: 3033 Watkins Town Rd, northwest elevation, looking southeast.



Photograph 10: 3033 Watkins Town Rd, southwest elevation, looking northeast.

Eight agricultural outbuildings are on the same parcel as the ranch house. A front-gable metal frame Quonset hut is located 130 feet northwest of the ranch house. It was constructed sometime between 1999

and 2002 according to available aerial imagery.¹⁸ The walls and roof are made of corrugated sheet metal. The structure is accessed through a metal garage door. The structure has no windows.



Photograph 11: Quonset hut on property line between 3031 and 3033 Watkins Town Rd, looking southwest.

The tractor garage is located 233 feet northwest of the ranch house. It was moved to its present location sometime between 1999 and 2002 according to available aerial imagery, and a similar looking equipment shed can be seen on the site plans from the WA1901 paper site forms. It has a low-pitched shed roof covered in corrugated sheet metal. The structure is walled on three sides with corrugated sheet metal. The main north façade features four open bays divided by wood posts that support the roof. The rear façade has an open shed roofed porch supported by round wood posts.

¹⁸ NETROnline, "Historic Aerials", 1999; NETROnline, "Historic Aerials," 2002.



Photograph 12: Tractor Garage, north façade, looking south.



Photograph 13: Tractor Garage, east elevation, looking west.

The remaining outbuildings lie 45 feet north of the tractor garage and include a small shed, a metal carport, an open-sided wood frame shed, and three metal frame packhouses.



Photograph 14: 3033 Watkins Town Road Outbuildings, looking northwest.

The small ca. 2012 shed features a side-gable roof and an east-facing asymmetrical front façade. According to aerial imagery, the structure is not present in 2010, but is in its present location by 2012. The roof is covered in asphalt shingles. The exterior is covered in aluminum siding and the windows are vinyl, six-over-six double-hung windows. The foundation is obscured. A wood ramp leads to the fiberglass panel front door.



Photograph 15: Small shed at 3033 Watkins Town Rd, looking northwest.

A ca. 2008 metal carport lies to the west of the small shed. It appears in its present place on the aerials in between 2006 and 2008.¹⁹ It is a carport design that has been in production since the mid-20th century. The construction is entirely metal and is wide enough for a single car.

A lean-to with wood post construction and a corrugated sheet metal roof shields the entrances to three front-gable metal tobacco curing sheds. These structures have been in their current location since ca. 1983 according to aerial imagery.²⁰ The first is a front-gable structure that is covered with corrugated sheet metal and metal doors installed on the front façade. The remaining two have entirely metal construction and lower pitched pent roofs.

¹⁹ NETROnline, "Historic Aerials," 2006, 2008.

²⁰ NETROnline, "Historic Aerials," 1983.



Photograph 16: Metal shed at 3033 Watkins Town Rd, looking north.



Photograph 17: Metal shed at 3033 Watkins Town Rd, looking north.



Photograph 18: Metal shed at 3033 Watkins Town Rd, looking north.



Photograph 19: Three metal sheds at 3033 Watkins Town Road, facing northwest.

3029 Watkins Town Road (PIN 1747701824)



Photograph 20: Overview of parcel at 3029 Watkins Town Road, facing northwest.

The property at 3029 Watkins Town Road includes a ca. 1901 hall-and-parlor tenant house, a 1990s singlewide trailer, and an early 2000s barn.

Set back approximately 76 feet from Watkins Town Road is a side-gable, hall-and-parlor type house with three bays. The original plan of the building is two unequal rooms across and two rooms deep. The front (southeast) façade retains its original fenestration. The side-gable roof is covered in asphalt shingles. A stucco-covered brick interior chimney is situated between the roof line and ridge. Another brick chimney is situated in a similar location on the southeast elevation roof. The dwelling is clad in vinyl siding. The windows have been replaced with vinyl sashes with a six-over-six pattern with false muntins. The foundation has been replaced with continuous concrete block construction. A full-width veranda porch on the façade has a shed roof that is supported by plain wood posts. The porch has a wood floor and was previously supported by brick piers, the gaps were later filled with concrete block.

The house has two modern additions on the northwest and southwest elevations. The northwest elevation addition features a shed roof that extends from the original roof, forming a cat slide roof. Half of the addition forms a rear porch while the other half is enclosed and clad in vinyl siding. The porch is supported by square wood posts and has a poured concrete floor. The addition on the southwest elevation has a front gable roof and its southwest elevation features one six-over-six vinyl window.



Photograph 21: 3029 Watkins Town Rd, main southeast facade, facing northwest.



Photograph 22: 3029 Watkins Town Rd, northeast elevation, facing southwest.



Photograph 23: 3029 Watkins Town Rd, northwest elevation, facing southeast.



Photograph 24: 3029 Watkins Town Rd, southwest elevation, facing northeast.

A singlewide trailer was added to the parcel sometime between 1983 and 1993 according to aerial imagery. The trailer is located approximately 262 feet west-northwest of the main house. The building has a side-gable corrugated metal roof and corrugated metal exterior walls. The windows are one-over-one with aluminum frames. The trailer is set on a concrete block foundation.



Photograph 25: Trailer at 3029 Watkins Town Rd, facing northwest.

A modern barn/garage is situated approximately 350 feet west-southwest of the main house on the parcel boundary. The barn was constructed sometime between 1999 and 2002. It is a wood frame building with a front-gable roof clad in corrugated sheet metal. The barn is two bays wide by one bay deep. The northeast elevation has two bays to park a car and other farm equipment. The exterior is covered in a vertical T1-11 plywood paneling. There is a pair of small sliding hayloft doors in the northeast gable. There is a wood post lean-to on the northwest elevation. A chicken coop is attached to the southwest elevation.



Photograph 26: Barn at 3029 Watkins Town Rd, facing southwest.



Photograph 27: Side of Barn at 3029 Watkins Town Rd, facing southeast.



Photograph 28: Rear elevation of Barn at 3029 Watkins Town Rd, facing north.

The original footprint of the M.O. Watkins Farm also contains a manufactured house at 3013 Watkins Town Road (PIN 1747804539). The house was constructed in 1995.



Photograph 29: 3013 Watkins Town Road, facing northwest.

Historical Background

The M.O. Watkins Farm property was first acquired by Jessie Patrick Peebles and Isadore M. (Watkins) Peebles from the late Jessie Watkins Peebles, Jessie Patrick's father, who is the oldest known person interred in the Watkins Family Cemetery, located on Watkins Town Road to the south of the M.O. Watkins Farm. Jessie Patrick Peebles was married to Mordecai Oscar Watkins's older sister, Isadore M., on December 8, 1885.²¹ Mordecai Oscar Watkins purchased the land from Jessie Patrick Peebles on April 25, 1919, for \$3,000.²² Census records indicate that they were farmers, but no information could be located on possible tenants under Peebles' or Watkins' in the house that is located at 3029 Watkins Town Road. An interview with Lawrence Leland Watkins, son of Mordecai Oscar Watkins, recorded in the February 1991 Survey Site Form for WA1901, indicated that they were tobacco and cotton farmers.

The 1920 US Census indicates that Mordecai Oscar operated the farm with his wife, Rosa Hines (Moody) Watkins, and their ten children – Odell, Clara, Sherman, Otto, Elma, Lawrence, Lillian, Archie, Newsom, and Alberta. They later had two more children, Norman and Maurice as recorded in the 1930 US Census. Mordecai Oscar later acquired an adjoining ten acres of land from James Lonnie Watkins, Sr. and his wife, Annie Muriel (Keith) Watkins, for \$10 on July 13, 1939.²³ James Lonnie Watkins, Sr.'s mother, Lucinda Ella (Peebles) Watkins, is the sister of Jessie Patrick Peebles and wife of John Robert Watkins.²⁴

Mordecai Oscar Watkins passed away on April 26, 1957, and his son, Lawrence Leland Watkins, was named Administrator CTA of the estate.²⁵ The M.O. Watkins Farm property was to be sold and interest divided equally among his ten surviving heirs. The land was purchased at auction by Delphius Hilbert (D.H.) Watkins for \$23,900 on December 31, 1958.²⁶ D.H. Watkins was a son of James Lonnie Watkins Sr. and Annie Muriel (Keith) Watkins. D.H. Watkins later granted a portion of the M.O. Watkins property back to Lawrence Leland Watkins and his wife, Roberta (Watkins) Watkins, on January 7, 1959, for \$100. Lawrence Leland Watkins continued to live on the former M.O. Watkins Farm properties until his death on February 12, 2001.²⁷ As such, he likely constructed the ranch home at 3033 Watkins Town Road.

On April 9, 1969, Lawrence Leland Watkins (L.L. Watkins) acquired the property at 3031 Watkins Town Road as a beneficiary in a Deed of Trust with Charlie R. Stell and Linda Watkins Stell.²⁸ Research did not uncover how the Stell's came to own the property but the area deeded adjoins land belonging to Chester

²¹ North Carolina, U.S., Marriage Records, 1741-2011. Electronic resource, www.ancestry.com.

²² Wake County Register of Deeds, Book 337, Page 74.

²³ Wake County Register of Deeds, Book 805, Page 588.

²⁴ Find-A-Grave.com, "Watkins Family Cemetery," <https://www.findagrave.com/cemetery/2350732/watkins-family-cemetery>, accessed March 2022.

²⁵ Find-A-Grave.com, "Mordecai Oscar Watkins," <https://www.findagrave.com/memorial/51203599/mordecai-oscar-watkins>, accessed March 2022.

²⁶ Wake County Register of Deeds, Book 1345, Page 210.

²⁷ Find-A-Grave.com, "Lawrence Leland Watkins," <https://www.findagrave.com/memorial/51203920/lawrence-leland-watkins>, accessed March 2022.

²⁸ Wake County Register of Deeds, Book 1870, Page 679.

Stell.²⁹ Through a series of transactions, L.L. Watkins came to own the house at 3031 Watkins Town Road by December 22, 1970.³⁰ In July 21, 1975, L.L. Watkins deeded the property back to a widowed Linda Watkins Stell.³¹

In the late 1980's, L.L. Watkins parceled out the property at 3013 Watkins Town Road (PIN 1747804539) and sold it to Donald L. Zeigler.³² 3013 Watkins Town Road contains a manufactured house that was constructed in 1995.

Lawrence Leland Watkins passed away on February 12, 2001, and his daughter, Janie Watkins Murray, became the executor of his estate.³³ His property was eventually divided into two tracts as depicted in a property line map dated December 28, 2004.³⁴ Tract 1 included 3033 Watkins Town Road and Tract 2 included 3029 Watkins Town Road. Linda W. Stell acquired Tract 1 on July 29, 2005.³⁵ On September 27, 2009, Linda Watkins Stell granted the property to Cynthia S. Perry, trustee of the Linda W. Stell Irrevocable Trust.³⁶ Tract 2 was acquired by Donald L. Zigler, James Edward Murray, and Keith Earl Murray on February 24, 2006.³⁷

²⁹ Wake County Register of Deeds, Book 1870, Page 679.

³⁰ Wake County Register of Deeds, Book 1872, Page 96; Deed Book 1966, Page 473.

³¹ Wake County Register of Deeds, Book 2332, Page 239.

³² Wake County Register of Deeds, Book 4365, Page 734; Wake County Register of Deeds, Book of Maps 1986, Page 2056.

³³ Find-A-Grave.com, "Lawrence Leland Watkins," <https://www.findagrave.com/memorial/51203920/lawrence-leland-watkins>, accessed March 2022.

³⁴ Wake County Register of Deeds, Book of Maps 2004, Page 2404.

³⁵ Wake County Register of Deeds, Book 11529, Page 2202.

³⁶ Wake County Register of Deeds, Book 11650, Page 176.

³⁷ Wake County Register of Deeds, Book 11829, Page 1677.



Figure 5: Division of L.L. Watkins Heirs Property, Wake County Register of Deeds, Book of Maps 2004, Page 2404.

Architectural Context

The M.O. Watkins Farm is an example of a late 19th - early 20th century family farmstead with multiple periods of building. This ongoing construction reflects the continued occupation of the property by M.O. Watkins heirs into the present day. Oftentimes, farms had more than one house to accommodate tenants or croppers and multiple dependencies related to domestic and agricultural work.³⁸

Many comparable properties exist in Wake County in the vicinity of the historic resource. The Robert Watkins Farm (WA1699), to the south of the M.O. Watkins Farm on Watkins Town Road and further discussed in this report, reflects more of the late 19th and early 20th century farming culture than the M.O. Watkins Farm does because it retains more original outbuildings. JMT consulted property records as well as survey site files housed at the NCHPO and the Elizabeth Reid Murray Special Collections at the Olivia Raney Local History Library to determine the architect and builder of the M.O. Watkins Farm. Unfortunately, no information about the architect or builder was uncovered during the course of this investigation. Most outbuildings on the M.O. Watkins Farm have been removed, replaced, or enclosed in modern materials so that they no longer convey their historic nature.



Photograph 30: Overview of Robert Watkins Farm (WA1699), facing south.

³⁸ Edwards-Pittman Environmental, Inc., "Phase II: Wake County MPDF Draft Addendum, 1942-1960" in *Wake County Architectural Survey Update: Phases I & II*, 2005-2007, 7.

The Otha Massey House (WA1900, surveyed only) at 3129 Watkins Town Road is located approximately 600 feet north of 3031 Watkins Town Road. The house has the same massed-plan, side gabled, and shed dormer as 3031 Watkins Town Road. The Otha Massey House retains more historic character through its retention of original or comparable replacement materials, whereas the older homes on the M.O. Watkins Farm property have been stripped of their original materials. A central chimney hall-and-parlor house on the property of the Otha Massey House notably retains age-appropriate materials such as the wood frame windows and wood-over-brick porch supports. This central chimney hall-and-parlor retains more integrity than the central chimney hall-and-parlor at 3029 Watkins Town Road.



Photograph 31: Otha Massey House (WA1900), 3129 Watkins Town Rd, facing west.



Photograph 32: Hall-and-parlor adjacent to Otha Massey House, WA1900, facing west.

The Rufus Smith Farm (WA1690, surveyed only) near 5909 Forestville Road is located 3.5 miles south of the subject property. The house features a similarly organized late 19th century farm with a non-historic house near the original farmhouse. Both the Rufus Smith Farm and the M.O. Watkins Farm are examples of building patterns commonly seen during the mid-to-late 20th century. They are also both examples of farmsteads with continued family ownership.



Photograph 33: Rufus Smith Farm, WA1690, facing northeast.

National Register of Historic Places Evaluation

Based on the research and fieldwork completed for this report, JMT recommends the M.O. Watkins Farm not eligible for the National Register of Historic Places. The M.O. Watkins Farm retains its integrity of location because buildings on the property have not been relocated. The integrity of design has been compromised due to the loss of original outbuildings that would have served to convey the age and use of the property as a tobacco farm. The M.O. Watkins Farm retains its integrity of setting, though the area's rural character is being impacted by organized residential development. While some buildings on the M.O. Watkins Farm retain original building materials including stone chimneys and wood windows, many have been replaced or covered. These changes negatively impact the integrity of materials and workmanship. Considering the loss of original materials and associated outbuildings, the M.O. Watkins Farm is no longer able to convey its historic use as a tobacco farm and therefore lacks integrity of feeling and association. Overall, the integrity of the M.O. Watkins Farm is mixed but generally lacking to the standard expected from National Register properties.

The M.O. Watkins Farm is not recommended eligible for the National Register under Criterion A (event). Properties are eligible under Criterion A if they are *associated with events that have made significant*

contributions to the broad patterns of our history. The M.O. Watkins Farm is a typical Wake County tobacco farmstead, following a pattern of development that was common throughout the rural parts of Wake County and the overall Piedmont region of North Carolina. However, these associations are not readily apparent from the built environment on the property. No original outbuildings remain, therefore, the relationship between the outbuildings and the main house has not been retained. Though rural development of this type is becoming rarer in Wake County, there are better remaining examples of this type of family farm in northeastern Wake County including the Rufus Smith Farm (WA1690). It is therefore not recommended eligible for listing in the National Register of Historic Places under Criterion A.

The M.O. Watkins Farm is not recommended eligible for the National Register under Criterion B (person). Properties are eligible under Criterion B if they are *associated with the lives of significant persons in our past*. The Watkins Family has lived along Watkins Town Road for generations and continues to do so in the present day. Additionally, the nearby Watkins Family Cemetery continues to be in active use. M.O. Watkins and his family, although the namesakes of Watkins Town Road and Watkins Road to the north, are not known to be of significance at the local, state, or national level. Information about M.O. Watkins and his family's farming and merchant activities could not be located to determine their specific impact to the agricultural industry in Wake County. They are not known to have made any major contributions to the local or regional area beyond running a family farm, and as such are not found significant enough to warrant inclusion in the National Register. The property is therefore not recommended eligible for listing in the National Register of Historic Places under Criterion B.

The M.O. Watkins Farm is not recommended eligible for the National Register under Criterion C (design/construction). Properties are eligible under Criterion C if they *embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction*. The M.O. Watkins Farm buildings are of building types common to their era of construction. The buildings are in various conditions, but most have undergone material alterations. Additionally, multiple historic outbuildings have been removed and replaced. These changes have diminished the property's integrity. No information was found regarding who designed or constructed the buildings on the property. The buildings are not representative of a specific style, nor are they known to be the work of an important architect or builder. Due to the M.O. Watkins Farm's lack of architectural distinction and loss of integrity, it is not recommended eligible for listing in the National Register of Historic Places under Criterion C.

The M.O. Watkins Farm is not recommended eligible for the National Register under Criterion D (potential to yield Information). To be eligible under Criterion D, *a resource must yield or be likely to yield information important in history or prehistory*. Although the property was not evaluated via archaeological survey, it is unlikely to contribute significant information pertaining to building technology or historical documentation not otherwise accessible from other extant resources and written records. As such it is not recommended eligible under Criterion D of the National Register of Historic Places.

WA8800: Willard E. and Joyce Watkins Duke House

Resource Name	Willard E. & Joyce Watkins Duke House
HPO Survey Site #	WA8800
Street Address	2933 Watkins Town Rd
PIN	1747709196
Construction Date(s)	1950
NRHP Recommendation	Not Eligible

Property Description

The parcel at 2933 Watkins Town Rd consists of a 1950 brick ranch home and three outbuildings. The 1950 brick ranch is set back from the road approximately 38 feet. The land was acquired by Willard E. Duke and his wife, Joyce Watkins, from Joyce's parents George Robert Watkins and Fannie M. Watkins on November 9, 1964.³⁹ Wake County iMaps Property GIS lists the date of construction as 1950 and aerial imagery shows the property in place by 1964.

The one-story house has five bays on the east-facing (main) façade and five bays on the south elevation due to an addition on the west elevation at the back of the house. The dwelling's side-gable roof is covered in asphalt shingles. The exterior is primarily a red brick veneer though the porch gable and the addition on the south elevation are covered in white aluminum siding. The windows have been replaced with vinyl one-over-one units. A brick chimney is located on the ridgeline between the original house and the addition. The addition gives the house an L-shaped plan. The front-gable porch on the east (main) façade is supported by turned wood posts. The front door is not centered and has a diamond-shaped fixed window. The foundation material is obscured by a running bond brick veneer with vents along the south elevation. The south elevation has an elevated wood porch that leads to a secondary entrance. A garage is attached to the north elevation of the house, accessible from the back of the house and not visible from the street. The garage has a modern white metal door. According to the available aerial imagery, the garage addition was constructed between 1983 and 1993.⁴⁰



Photograph 34: Overview of Willard E. and Joyce Watkins Duke House, facing southwest.

³⁹ Deed Book 1620, Page 498

⁴⁰ Ibid., 1993.

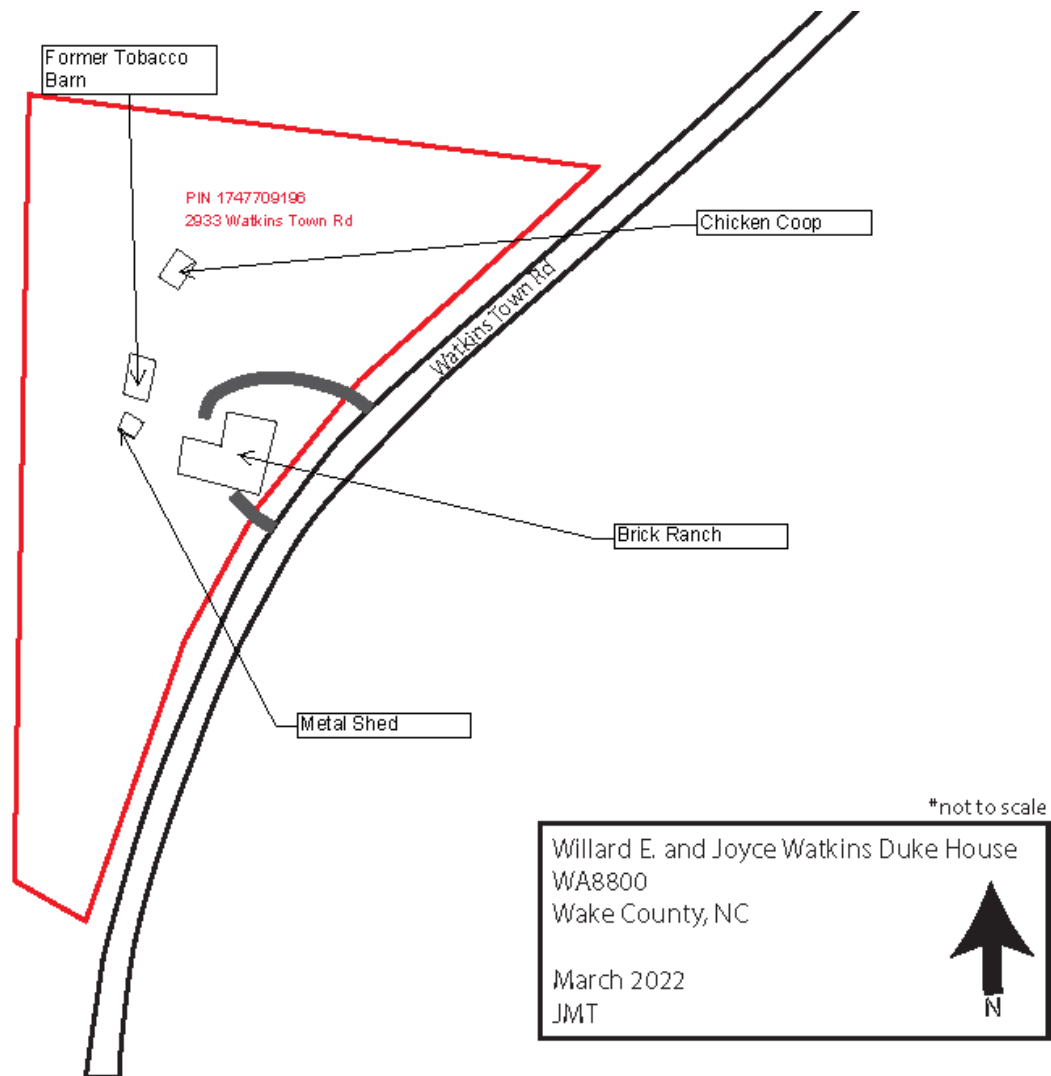


Figure 6 Willard E & Joyce Watkins Duke House Site Plan



Photograph 35: The Willard E. and Joyce Watkins Duke House, main east facade, facing west.



Photograph 36: The Willard E. and Joyce Watkins Duke House, south elevation, facing north.



Photograph 37: The Willard E. and Joyce Watkins Duke House, west elevation, facing east.



Photograph 38: The Willard E. and Joyce Watkins Duke House, north elevation, facing south.

Situated 50 feet west-northwest of the main house are three outbuildings organized in a line. From south to north, they are a front-gable shed, a front-gable tobacco barn, and a front-gable chicken coop.



Photograph 39: Outbuildings at the Willard E. and Joyce Watkins Duke House, facing southwest.

The shed is completely covered in corrugated sheet metal and the door has been replaced with a piece of plywood. The shed is supported on concrete block piers.



Photograph 40: Metal Shed at the Willard E. and Joyce Watkins Duke House, facing north.

The former tobacco barn has been covered in a combination of corrugated sheet metal and aluminum siding. The siding is pulling away from front of the barn, revealing the original untreated wood siding beneath. The eaves of the roof feature exposed wood rafter tails. The barn is supported on concrete block piers.



Photograph 41: Former Tobacco Barn at the Willard E. and Joyce Watkins Duke House, facing southwest.

The chicken coop has a front gabled form with a shed roof extension on the south elevation. The coop is entirely covered in corrugated sheet metal and has no windows. A fenced-in chicken run is located beneath the shed roof.



Photograph 42: Chicken Coop at the Willard E. and Joyce Watkins Duke House, facing southwest.

Historical Background

Prior to the construction of the Willard E. and Joyce Watkins Duke House, the property had some buildings. Information about these buildings could not be located beyond a 1964 aerial which shows buildings and structures on the property which do not appear to be the same as those documented on the property today.



Figure 7: Historic Aerials from 1964(left) and 1983(right). Willard E and Joyce Watkins Duke House is marked in blue.

The property was acquired in 1964 by Willard Edward Duke and his wife, Joyce Watkins Duke from her parents, George Robert Watkins and Fannie M. Watkins.⁴¹ Sources consulted revealed nothing about the property's uses or significant findings about the families who occupied it before Willard and Joyce Duke. Willard Duke lived on the property until his death in 2013. He was the son of Otha Henderson and Nora (Barham) Duke and lived in Wake County his entire life. He attended Rolesville High School and served in the U.S. Army in World War II.⁴² Upon returning from the war, Willard played minor league baseball for the Tallahassee Indians in the Georgia-Alabama League and for the Cambridge Dodgers in the Eastern Shore League, both in 1948.⁴³ Willard later worked for the Greyhound Bus Company for 38 years. Willard and Joyce attended Wake Crossroads Baptist Church.⁴⁴

Willard Edward Duke and his wife Joyce Watkins Duke, and her parents, George Robert Watkins and Fannie M. Watkins, are buried in the Watkins Family Cemetery to the north of 2933 Watkins Town Road. George Robert Watkins was the son of James Lonnie Watkins and Anne Muriel (Keith) Watkins. George Robert's Sister, Roberta, was married to Lawrence Leland Watkins, who lived on the former M.O. Watkins

⁴¹ Wake County Register of Deeds, Book 1620, Page 498.

⁴² Find-A-Grave, "Willard Edward Duke," Electronic resource, <https://www.findagrave.com/memorial/107940963/willard-edward-duke>, accessed March 2022.

⁴³ Baseball Reference, "Willard Duke," Electronic resource, <https://www.baseball-reference.com/register/player.fcgi?id=duke--001wil>, accessed March 2022.

⁴⁴ Find-A-Grave, "Willard Edward Duke."

Farm property to the north of 2933 Watkins Town Road. Their father, James Lonnie Watkins was the son of Lucinda Ella (Peebles) Watkins and John Robert Watkins. Lucinda was the daughter of Jessie W. Peebles and Eliza Ann (Pace) Peebles. John Robert Watkins was the son of Jack Watkins and Louise (Floyd) Watkins.

Upon his passing, the property was given to Willard E. Duke's sons, Robert Mantle Duke and Ronald Edward Duke, on April 16, 2013.⁴⁵

⁴⁵ Wake County Register of Deeds, Book 13-E, Page 1365.

Architectural Context

The earliest Ranch-style houses were designed in the 1930's in California, eventually gaining popularity in the 1940's and rising to dominate the new housing market in the post-World War II years. The versatile form could be implemented in rural and urban settings alike.⁴⁶ Their ubiquity means that they are rarely individually eligible for the NRHP. "Ranch houses in Wake County have brick, weatherboard, and synthetic exteriors with broad chimneys, occasional bands of windows, spare to no detailing, rear patios, and typically lack a front porch."⁴⁷ The Willard E. and Joyce Watkins Duke House follows the overall style and form commonly seen throughout Wake County in rural and suburban settings alike. JMT consulted property records as well as survey site files housed at the NCHPO and the Elizabeth Reid Murray Special Collections at the Olivia Raney Local History Library to determine the architect and builder of the Willard E. and Joyce Watkins Duke House. Unfortunately, no information about the architect or builder was uncovered during the course of this investigation.

The Willard E. and Joyce Watkins Duke House can be compared to the ranch house on the M.O. Watkins Farm at 3033 Watkins Town Road. Both utilize red brick exteriors and white vinyl or aluminum siding accents and have asymmetrical fenestrations. Both are examples of secondary dwellings appearing on or near the property of a historic family farm, whether for descendants or laborers.



Photograph 43: 3033 Watkins Town Road, facing west.

The ranch house at 5808 Riley Hill Road, located 5.8 miles east of the subject property, has not been previously surveyed but is clad in red brick veneer and features a front gabled white aluminum covered opening on the front façade's roof, similar to the subject property. Both examples also have asymmetrical façades.

⁴⁶ McAlester, Virginia Savage and Lee McAlester. *A Field Guide to American Houses*. New York: Alfred A. Knopf, 1984.

⁴⁷ Edwards-Pittman Environmental, Inc., "Phase II: Wake County MPDF Draft Addendum, 1942-1960" in *Wake County Architectural Survey Update: Phases I & II*, 2005-2007, 17.



Photograph 44: 5808 Riley Hill Road, looking south.

The ranch house located on the previously surveyed Rufus Smith Farm (WA1690), approximately 3.5 miles from the subject property, also features red brick veneer and white aluminum siding accents. Although the eligibility of the Rufus Smith Farm has not been determined, the ranch house on the property would likely not contribute to the property's significance.



Photograph 45: Ranch House on Rufus Smith Farm, WA1690, 5909 Forestville Rd, facing north.

National Register of Historic Places Evaluation

Based on the research and fieldwork completed for this report, JMT recommends the Robert Watkins Farm not eligible for the National Register of Historic Places. The Willard E. and Joyce Watkins Duke House at 2933 Watkins Town Road has not been previously surveyed or evaluated. A new HPO Survey Site Number was created for this entry. The subject property retains its integrity of location because it has not been relocated. The integrity of design is impacted by the west elevation's addition, which altered the shape of the property. The original windows have been replaced with vinyl which also impacts the integrity of design. The property's integrity of setting is fair. The area is still predominately rural, however suburban development to the north has somewhat diminished the property's integrity of setting. The property retains

most of its original materials and utilizes materials compatible with the time in which it was built, the exception being the replacement windows. Windows are important to conveying the age of a property and therefore the Willard E. and Joyce Watkins Duke House lacks integrity of materials and workmanship. The building is still identifiable as a mid-20th century rural ranch house and therefore retains integrity of feeling and association.

The Willard E. and Joyce Watkins Duke House is not recommended eligible for the National Register under Criterion A (event). Properties are eligible under Criterion A if they are *associated with events that have made significant contributions to the broad patterns of our history*. The Willard E. and Joyce Watkins Duke House was a typical home for a rural resident of Wake County in the mid-twentieth century. It is not known to be associated with significant patterns of local, state, or national history. It is therefore recommended not eligible for listing in the National Register of Historic Places under Criterion A.

The Willard E. and Joyce Watkins Duke House is not recommended eligible for the National Register under Criterion B (person). Properties are eligible under Criterion B if they are *associated with the lives of significant persons in our past*. The Watkins Family has lived along Watkins Town Road for generations and continues to do so. Although the namesakes of Watkins Town Road and Watkins Road to the north, the family is not of significance to local, state, or national historic contexts. Though the original owner of the building, Willard Duke, was a minor league baseball player and active at the Wake Crossroads Baptist Church, no significant information about Willard or his wife, Joyce, was uncovered during the course of this investigation. They are not known to have made any major contributions at the local or state level beyond being members of the Watkins family. The property is therefore not recommended eligible for listing in the National Register of Historic Places under Criterion B.

The Willard E. and Joyce Watkins Duke House is not recommended eligible for the National Register under Criterion C (design/construction). Properties are eligible under Criterion C if they *embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction*. Ranch houses are a common style of building throughout the United States. Research into the Willard E. and Joyce Watkins Duke House did not reveal it to be the work of a master architect. The house retains some historic materials, namely the brick, but the windows have been replaced with vinyl. If the original windows were retained, the case for eligibility under Criterion C would be better. Therefore, The Willard E. and Joyce Watkins Duke House is not recommended eligible for listing in the National Register of Historic Places under Criterion C.

The Willard E. and Joyce Watkins Duke House is not recommended eligible for the National Register under Criterion D (potential to yield information). To be eligible under Criterion D, *a resource must yield or be likely to yield information important in history or prehistory*. Although the property was not evaluated via archaeological survey, it is unlikely to contribute significant information pertaining to building technology or historical documentation not otherwise accessible from other extant resources and written records. As such it is not recommended eligible under Criterion D of the National Register of Historic Places.

WA1699: Robert Watkins Farm

Resource Name	Robert Watkins Farm
HPO Survey Site #	WA1601
Street Address	2932 Watkins Town Rd
PIN	1746894942
Construction Date(s)	1901
NRHP Recommendation	Not Eligible

Property Description

The primary structure on the Robert Watkins Farm is set back 75 feet southeast of Watkins Town Road.

Other structures within the property parcel boundaries include the ruins of a house on the opposite side of Watkins Town Road, the ruins of another house or building 70 feet northeast of the main structure, and a cluster of four agricultural outbuildings to the south of the main structure.

Only brick piers remain of the previous structure on the west side of Watkins Town Road. The structure was a tenant house and was recorded in the North Carolina Historic Structures Short Data Sheet dating August 1990, on file with the NC HPO.⁴⁸ The ruins are located approximately 400 feet north-northeast of the primary structure. The structure deteriorated recently according to aerial imagery, fully disappearing between 2016 and 2018.⁴⁹



Photograph 46: Overview of Robert Watkins Farm (WA1699), facing south.

⁴⁸ Lally, Kelly A, *Robert Watkins Farm, WA1699*, Raleigh, N.C.: NCHPO Survey Site File, 1990.

⁴⁹ NETROnline, "Historic Aerials," 2016; NETROnline, "Historic Aerials," 2018.

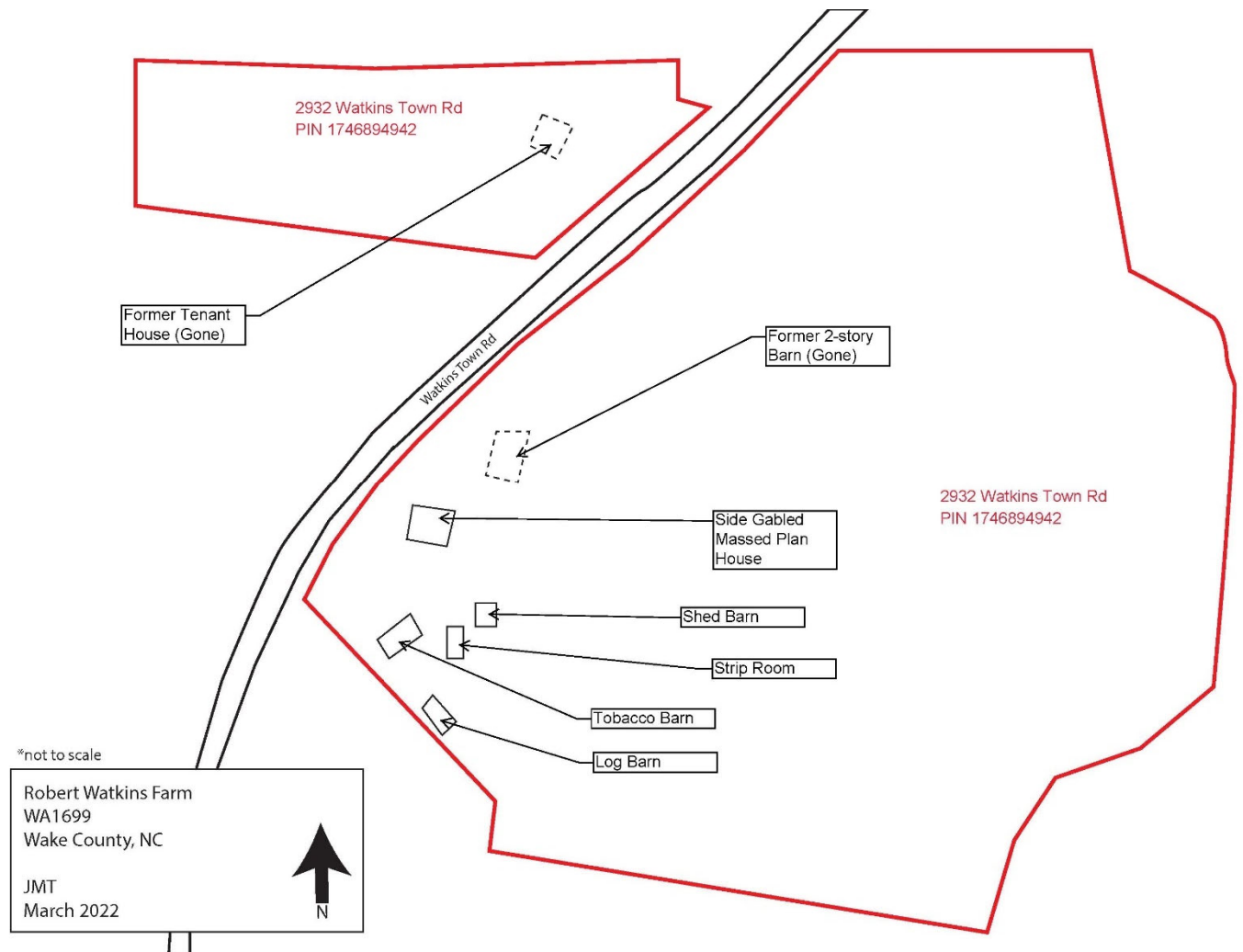


Figure 8 Robert Watkins Farm Site Plan



Photograph 47: Ruins of former Tenant House on west side of Watkins Town Rd, facing west.

The other ruins on the Robert Watkins Farm property are 70 feet northeast of the main structure on the east side of Watkins Town Road. This structure was a two-story barn used for storing locally bought fertilizer, as recorded in the North Carolina Historic Structures Short Data Sheet in August 1990. Concrete and brick piers are all that remain of the structure. The structure was demolished sometime between February 2019 and June 2021, according to Google StreetView imagery.



Photograph 48: Ruinous Former Barn on Robert Watkins Farm (WA1699), facing east.

The main house on the Robert Watkins Farm property is a side-gable, massed plan dwelling. The house is one-and-a-half stories tall, measures three bays wide, and features several rear additions. The roof is side-gable and has a centered shed dormer all clad in asphalt shingles. The dwelling is clad in aluminum siding. All windows are double-hung wood sashes. The foundation is predominantly concrete block, which was used to fill in gaps in the original brick pier foundation. The brick piers are painted gray to blend in with the concrete. The façade windows are paired four-over-one windows with false shutters, and the dormer features two square, four-light, fixed wood windows. The full-width veranda on the front façade has a shed roof, is supported by four turned wood posts, and has a wood floor. Poured concrete stairs with a metal banister leads to the front door.



Photograph 49: Main dwelling at Robert Watkins Farm (WA1699), main (west) façade, facing east.

The south elevation features a stone block exterior chimney and two six-over-six double-hung wood windows of different sizes. A shed roof addition on the house and the shed roof rear (east elevation) addition are visible from the south elevation. A wood crawlspace door is located on the south elevation addition.



Photograph 50: Main house at Robert Watkins Farm (WA1699), south elevation, facing north.

The rear, east-facing elevation features a shed roof addition on the south side and a front-gable addition on the north side of the east elevation. The shed roof addition has three bays – from east to west they contain, a six-over-six double-hung wood window; one, six-over-six double-hung wood window; and a metal and glass door. Poured concrete stairs with a metal banister provide access to the doorway. The gable-roof addition has one, six-over-six double-hung window and one, four-over-one double-hung wood window. A concrete block chimney is located on the exterior of this façade. The north elevation has two bays. Each bay has a four-over-one double-hung wood window with false shutters.



Photograph 51: Main house at Robert Watkins Farm (WA1699), east elevation, facing west.



Photograph 52: Main house at Robert Watkins Farm (WA1699), north elevation, facing south.

There is a complex of four agricultural outbuildings to the south of the main house. The nearest outbuilding relative to the main house is a shed barn, located 75 feet south-southeast of the main building. It is a front-gable barn with an extended shed roof on one side. There is one wood door located off center on the primary (north) façade. The roof and walls are covered in a corrugated sheet metal, beneath which is original wood frame construction that can be seen at the rafter tails and through gaps in the exterior covering. The foundation is predominantly concrete block, but a brick pier remains intact beneath the north façade entrance, and a rounded wood post can be seen through a gap in the foundation on the corner of the north and east elevations. The east and south elevations are open and feature wood slat construction. The slats on the south façade are enclosed with chicken wire.



Photograph 53: Overview of Robert Watkins Farm Outbuildings (WA1699) from Watkins Town Road, facing southeast.



Photograph 54: Shed Barn at Robert Watkins Farm (WA1699), facing south.



Photograph 55: Shed Barn at Robert Watkins Farm (WA1699), facing east.



Photograph 56: Shed Barn at Robert Watkins Farm (WA1699), facing north.



Photograph 57: Shed Barn at Robert Watkins Farm (WA1699), facing west.

The next nearest building is 25 feet southwest of the previously described shed barn and is a strip room barn. The shed features a front-gable roof with a shed roof addition. The main entrance is situated off center on the west-facing façade and a concrete block exterior chimney is located to the north of the entrance. The elongated side on the west elevation is open. The roof is covered in corrugated sheet metal. The exterior is wood weatherboard on the west and north elevations and corrugated sheet metal on the east and south elevations. The north elevation has a line of three, four-light fixed wood windows. The foundation is deteriorated or obscured on all sides by sheet metal though it appears to be a combination of uncut stone and brick piers.



Photograph 58: Strip Room at Robert Watkins Farm (WA1699), facing east.



Photograph 59: Strip Room at Robert Watkins Farm (WA1699), facing south.



Photograph 60: Strip Room at Robert Watkins Farm (WA1699), facing west.



Photograph 61: Strip Room at Robert Watkins Farm (WA1699), facing north.

The largest of the four outbuildings is a two-story tobacco barn located 65 feet west of the previously discussed shed barn. The primary door opening is on the south façade, making the barn a side-gable structure with a long shed roof overhang on the north elevation. The north elevation's shed overhang is collapsed but was once supported by round wood posts. The roof is covered in corrugated sheet metal. The exterior is entirely wood siding. The foundation is uncut stone masonry with irregular courses.



Photograph 62: Two-story barn at Robert Watkins Farm (WA1699), facing north.



Photograph 63: Two-story barn at Robert Watkins Farm (WA1699), facing west.



Photograph 64: Two-story barn at Robert Watkins Farm (WA1699), facing south.



Photograph 65: Two-story barn at Robert Watkins Farm (WA1699), facing east.

The final agricultural outbuilding is a one-and-a-half story tobacco barn located 83 feet south-southeast of the two-story tobacco barn. It is a hand-hewn, saddle log notched building covered in corrugated sheet metal and wood siding. The west elevation of the barn reveals the original log exterior with chinking intact

between the logs. The roof material is corrugated sheet metal. A shed roof, overhang addition supported by round and square wood posts is located on the west elevation. The foundation is made of uncut stone with irregular courses.



Photograph 66: Log Barn at Robert Watkins Farm (WA1699), facing southeast.



Photograph 67: Log Barn at Robert Watkins Farm (WA1699), facing east.



Photograph 68: Log Barn at Robert Watkins Farm (WA1699), facing west-northwest.

Historical Background

According to the Wake County iMaps Property Database, the main dwelling at the Robert Watkins Farm was constructed in 1901. The original survey of the property conducted in 1990 does not mention a specific construction date, but estimates the dwelling was constructed in the late 19th century and features 20th century additions and alterations. A 1914 Soils Map shows two buildings in the general vicinity of the Robert Watkins Farm main dwelling and former tenant house, which supports a construction date of pre-1914.⁵⁰

The Robert Watkins Farm was owned by a member of the Peebles family in the nineteenth century before it was passed along to Robert Watkins, who married a Peebles. Robert Watkins, also known as John Robert Watkins, married Martha Ann Delia Peebles on October 23, 1873.⁵¹ ⁵² They were together until her death in 1882 and had one son, Henry P. Watkins. John Robert later married Martha Ann's sister, Lucinda Ella Peebles on January 17, 1882. John Robert and Lucinda Ella had six children – James Lonnie, James I, John Cleveland, Robert Oscar, Mary Eliza, Vallie, and Frank Samuel.⁵³ The farm later became the property of Henry P. Watkins, who worked the farm with his half-brother J.L. (James Lonnie) Watkins.⁵⁴ The exact date of this transfer is unknown; however, they grew cotton and tobacco on the property.

Henry P. Watkins passed away on February 26, 1921 and is buried in Raleigh's Oakwood Cemetery.⁵⁵ After Henry's death, his half-brother and his wife, James Lonnie Watkins and Annie Muriel (Keith) Watkins, likely took over operations at the Robert Watkins Farm. James and Annie had ten children – James Walter, George Robert, Levi Bunting, Edward, Delphius Hilbert, Roberta, James Lonnie Jr, Annie Laurie, and John Dolan.⁵⁶ The eldest son, James Walter Watkins, passed away on January 9, 1937 at age 33.⁵⁷ James Lonnie Watkins Sr. passed away on March 1, 1946.⁵⁸ The widowed Annie Watkins continued to live on the property until her death on August 9, 1961. On December 14, 1961, her heirs signed a deed to grant the Robert Watkins Farm to her eldest son, George Robert Watkins, and his wife, Fannie M. Watkins.⁵⁹

⁵⁰ United States Bureau of Soils. Soil Map, North Carolina, Wake County Sheet. 1914. Electronic resource, <https://dc.lib.unc.edu/cdm/ref/collection/ncmaps/id/301>, accessed March 2022.

⁵¹ Interview with Fannie Watkins, documented on the Survey Site Form for WA1699.

⁵² North Carolina, U.S., Marriage Records, 1741-2011. Electronic resource, www.ancestry.com, accessed March 2022.

⁵³ Find-A-Grave, "Lucinda Ella Watkins," Electronic resource, <https://www.findagrave.com/memorial/88118966/lucinda-ella-watkins>, accessed March 2022.

⁵⁴ Interview with Fannie Watkins, documented on the Survey Site Form for WA1699.

⁵⁵ Find-A-Grave, "Henry P. Watkins," Electronic resource, <https://www.findagrave.com/memorial/44448050/henry-p-watkins>, accessed March 2022.

⁵⁶ Find-A-Grave, "James Lonnie Watkins," Electronic resource, <https://www.findagrave.com/memorial/51204343/james-lonnie-watkins>, accessed March 2022.

⁵⁷ Find-A-Grave, "James Walter Watkins," Electronic resource, <https://www.findagrave.com/memorial/51203798/james-walter-watkins>, accessed March 2022.

⁵⁸ Find-A-Grave, "James Lonnie Watkins."

⁵⁹ Wake County Register of Deeds, Book 1482, Page 592.

George Robert passed away on January 3, 1971, and Fannie retained the property until her death on October 21, 2004.⁶⁰ The estate fell under ownership of Willard and Joyce Watkins Duke, who lived across the street at 2933 Watkins Town Road. Upon their deaths in April 6, 2013 and December 2, 2001, respectively, their estate and properties passed on to their children and their spouses – Robert M Duke and wife, Marsha H; Ronald E. Duke and his wife, Dianne Holmes; and Roger Duke. On December 31, 2005, they sold the land to a limited liability company, Brother's Seventeen, based out of Raleigh.⁶¹

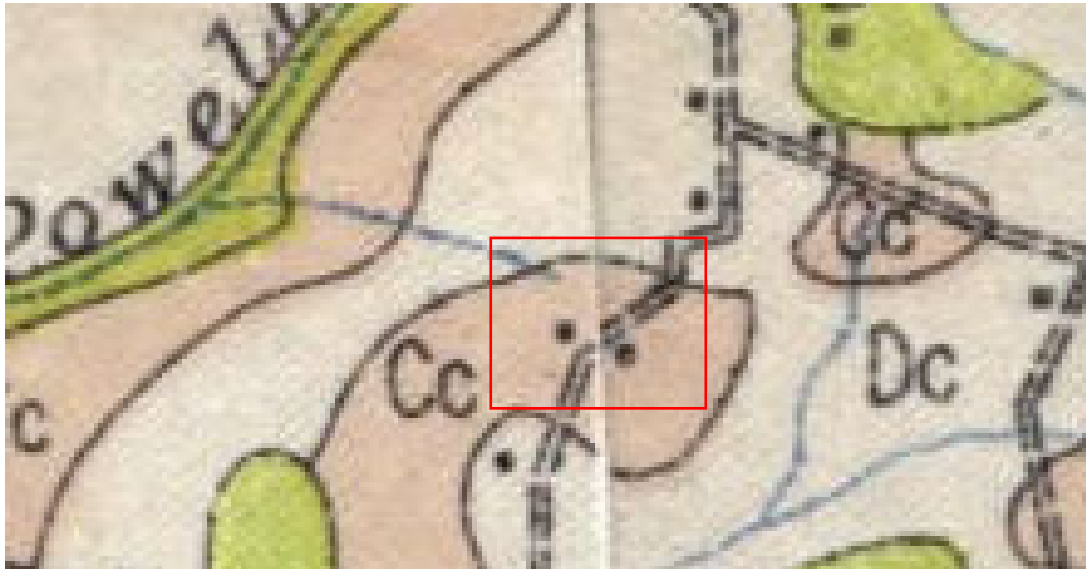


Figure 9: 1914 Soils Map showing dwellings in general vicinity of Robert Watkins Farm.

Architectural Context

Tobacco and cotton farmsteads such as the Robert Watkins Farm were very common in Wake County, and the Robert Watkins Farm is a relatively well-preserved example of a small, family farm. The house has undergone some unsympathetic material alterations. The overall plan of the farmstead is somewhat retained, although the loss of the associated tenant house and two-story fertilizer barn on the property has significantly damaged the property's integrity. JMT consulted property records as well as survey site files housed at the NCHPO and the Elizabeth Reid Murray Special Collections at the Olivia Raney Local History Library to determine the architect and builder of the Robert Watkins Farm. Unfortunately, no information about the architect or builder was uncovered during the course of this investigation.

⁶⁰ Find-A-Grave, "George Robert Watkins," Electronic resource, <https://www.findagrave.com/memorial/51204599/george-robert-watkins>, accessed March 2022; Find-A-Grave, "Janie Francis Marshall Watkins," Electronic resource, <https://www.findagrave.com/memorial/51204701/janie-francis-watkins>, accessed March 2022.

⁶¹ Wake County Register of Deeds, Book 13125, Page 2350.

The Charles H Horton Farm (WA1929, SL 1991, DOE 1997) near 5233 Riley Hill Road in Wendell is located 5.4 miles east of the Robert Watkins Farm. The Charles H Horton Farm is of similar age but retains intact agricultural outbuildings, which are missing at Robert Watkins Farm. Additionally, the replacement materials used on the main residential structure are more sympathetic to the age of the structure.



Photograph 69: Charles H Horton Farm (WA1929), facing south.



Photograph 70: Agricultural Outbuildings at Charles H Horton Farm (WA1929), facing south.

Wood frame tobacco barns are very common throughout rural Wake County but are often lacking context. The outbuildings at the Robert Watkins Farm are in fair condition and their association with a house is retained. The outbuildings at the Charles H. Horton Farm (WA1929) are more structurally intact and are more successful at showing the spatial relationships between agricultural outbuildings buildings and dwellings. The outbuildings on the Robert Watkins Farm have original or sympathetic materials but are in poor condition, with portions of the structures collapsing and at least one barn completely demolished due to lack of use.

National Register of Historic Places Evaluation

Based on the research and fieldwork completed for this report, JMT recommends the Robert Watkins Farm not eligible for the National Register of Historic Places. Today in Wake County, there are few examples of intact, early twentieth century tobacco family farmsteads that preserve the original building layout. The Robert Watkins Farm retains integrity of location because the main house is not known to have been moved and the extant outbuildings retain their original locations. The loss of the associated tenant house across the street on the west side of Watkins Town Road and the two-story fertilizer barn on the east side of Watkins Town Road negatively impact the resource's integrity of location and design. The loss of outbuildings means the property can no longer convey its association and feeling as a family-run tobacco farmstead. The property's integrity of setting is fair. The area is still predominately rural, however suburban development to the north has somewhat diminished the property's integrity of setting.

The Robert Watkins Farm does not retain integrity of materials or workmanship. The main house has been covered in aluminum siding. The continuous concrete block foundation does not utilize materials or

construction techniques that would have been used at the turn of the twentieth century when the house was built. The outbuildings have better integrity of material and workmanship than the house, especially the log tobacco barn. There are examples of farmsteads in Wake County that better retain the integrity of materials and workmanship of all properties on the farmstead, namely the study-listed Charles H. Horton Farm (WA1929). Therefore, the Robert Watkins Farm does not have integrity of design or workmanship.

The Robert Watkins Farm is not recommended eligible for the National Register under Criterion A (event). Properties are eligible under Criterion A if they are *associated with events that have made significant contributions to the broad patterns of our history*. The loss of outbuildings has damaged the Robert Watkins Farm's association with tobacco farming in Wake County. There are more complete and intact examples of such farmsteads located within Wake County, such as the Charles H. Horton Farm (WA1929) that was Study Listed in 1997. As such, the Robert Watkins Farm is not recommended eligible for listing in the National Register of Historic Places under Criterion A.

The Robert Watkins Farm is not recommended eligible for the National Register under Criterion B (person). Properties are eligible under Criterion B if they are *associated with the lives of significant persons in our past*. Robert Watkins is not known to be of significance at the local, state, or national level. Although the Watkins family is numerous and continues to have ties to Watkins Town Road as a whole, no additional information was uncovered about Robert Watkins during research. Robert Watkins himself is not known to have made any major contributions to the local or regional area beyond owning a family farm. The Robert Watkins Farm does not appear to be associated with the lives of any significant persons in our past, therefore the resource is not recommended eligible for listing in the National Register of Historic Places under Criterion B.

The Robert Watkins Farm is not recommended eligible for the National Register under Criterion C (design/construction). Properties are eligible under Criterion C if they *embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction*. Research did not reveal the Robert Watkins Farm to be the work of a master architect or builder. Robert Watkins Farm would have to retain more integrity of workmanship, design, and materials to rise to the standard required for eligibility under Criterion C. Though the hand-hewn log barn is a good example of its type of construction, it is only one piece of the entire Robert Watkins Farm property. Without other high integrity buildings to support it, the log barn loses its context. As such, the Robert Watkins Farm's diminished integrity and lack of architectural distinction means the property is not recommended eligible or listing in the National Register of Historic Places under Criterion C.

The Robert Watkins Farm is not recommended eligible for the National Register under Criterion D (potential to yield Information). To be eligible under Criterion D, a resource must *yield or be likely to yield information important in history or prehistory*. Although the property was not evaluated via archaeological survey, it is unlikely to contribute significant information pertaining to building technology or historical documentation not otherwise accessible from other extant resources and written records. As such it is not recommended eligible under Criterion D of the National Register of Historic Places.

REFERENCES

Baseball Reference. "Willard Duke." Electronic resource, <https://www.baseball-reference.com/register/player.fcgi?id=duke--001wil>, accessed March 2022.

Bishir, Catherine W. and Michael T. Southern. *A Guide to the Historic Architecture of Piedmont North Carolina*. Chapel Hill, N.C. : University of North Carolina Press, 2003.

Edwards-Pittman Environmental, Inc. *Wake County Architectural Survey Update: Phases I & II*. 2005-2007.

Find-A-Grave. "George Robert Watkins." Electronic resource, <https://www.findagrave.com/memorial/51204599/george-robert-watkins>, accessed March 2022.

__. "Henry P. Watkins." Electronic resource, <https://www.findagrave.com/memorial/44448050/henry-p-watkins>, accessed March 2022.

__. "James Lonnie Watkins." Electronic resource, <https://www.findagrave.com/memorial/51204343/james-lonnie-watkins>, accessed March 2022.

__. "James Walter Watkins." Electronic resource, <https://www.findagrave.com/memorial/51203798/james-walter-watkins>, accessed March 2022.

__. "Janie Francis Marshall Watkins." Electronic resource, <https://www.findagrave.com/memorial/51204701/janie-francis-watkins>, accessed March 2022.

__. "Lawrence Leland Watkins." <https://www.findagrave.com/memorial/51203920/lawrence-leland-watkins> accessed March 2022.

__. "Lucinda Ella Watkins." Electronic resource, <https://www.findagrave.com/memorial/88118966/lucinda-ella-watkins>, accessed March 2022.

__. "Mordecai Oscar Watkins." <https://www.findagrave.com/memorial/51203599/mordecai-oscar-watkins>, accessed March 2022.

__. "Willard Edward Duke." Electronic resource, <https://www.findagrave.com/memorial/107940963/willard-edward-duke>, accessed March 2022.

Harrison Jr, T.P. "Farm Conditions, Farm Practices, and the Local Market Problem" in *Wake County: Economic and Social*. Raleigh, N.C. : Edwards & Broughton Printing Co., 1918.

Johnson, K Todd and Elizabeth Reid Murray. *Wake, Capital County of North Carolina: Volume I, Prehistory through Centennial*. Raleigh, N.C.: Capital County Pub. Co., 1983.

__. *Wake, Capital County of North Carolina: Volume II, Reconstruction to 1920*. Raleigh, N.C.: Capital County Pub. Co., 2008.

Lally, Kelly A. *National Register Multiple Property Nomination for Historic and Architectural Resources of Wake County (ca. 1770-1941)*, Raleigh, N.C., 1993.

___ . *The Historic Architecture of Wake County*. Raleigh, N.C.: Wake County Government, 1994.

___ . *M.O. Watkins Farm, WA1901*. Raleigh, N.C. : NCHPO Survey Site File, 1991.

___ . *Robert Watkins Farm, WA1699*. Raleigh, N.C. : NCHPO Survey Site File, 1990.

McAlester, Virginia Savage and Lee McAlester. *A Field Guide to American Houses*. New York: Alfred A. Knopf, 1984.

NETROnline. "Historic Aerials." Various Years. NETROnline. Electronic Resource, <https://www.historicaerials.com/> accessed March 2022.

North Carolina Historic Preservation Office (NC-HPO). "Report Standards for Historic Structure Survey Reports/Determinations of Eligibility/Section 106/110 Compliance Reports in North Carolina." NCHPO, 2019.

North Carolina, U.S., Marriage Records, 1741-2011. Electronic resource, www.ancestry.com, accessed March 2022.

Rohe, William M. *The Research Triangle: From Tobacco Road to Global Prominence*. Philadelphia, P.A.: University of Pennsylvania Press, 2011.

United States Bureau of Soils. *Soil Map, North Carolina, Wake County Sheet*. Electronic resource, <https://dc.lib.unc.edu/cdm/ref/collection/ncmaps/id/301>, accessed March 2022.

United States Census Bureau 1880 "Wake County, North Carolina." Electronic resource, www.ancestry.com, accessed March 2022.

___ . 1920 "Wake County, North Carolina." Electronic resource, www.ancestry.com, accessed March 2022.

___ . 1930 "Wake County, North Carolina." Electronic resource, www.ancestry.com, accessed March 2022.

___ . 1940 "Wake County, North Carolina." Electronic resource, www.ancestry.com, accessed March 2022.

Wake County Register of Deeds. Wake County Consolidated Real Property Index. Various Years. <http://rodcrpi.wakegov.com/booksweb/genextsearch.aspx> accessed March 2022.